

Permitting 101: Expectations and Strategies For Your Project

8:30 AM
May 4th, 2023
Kennewick, WA

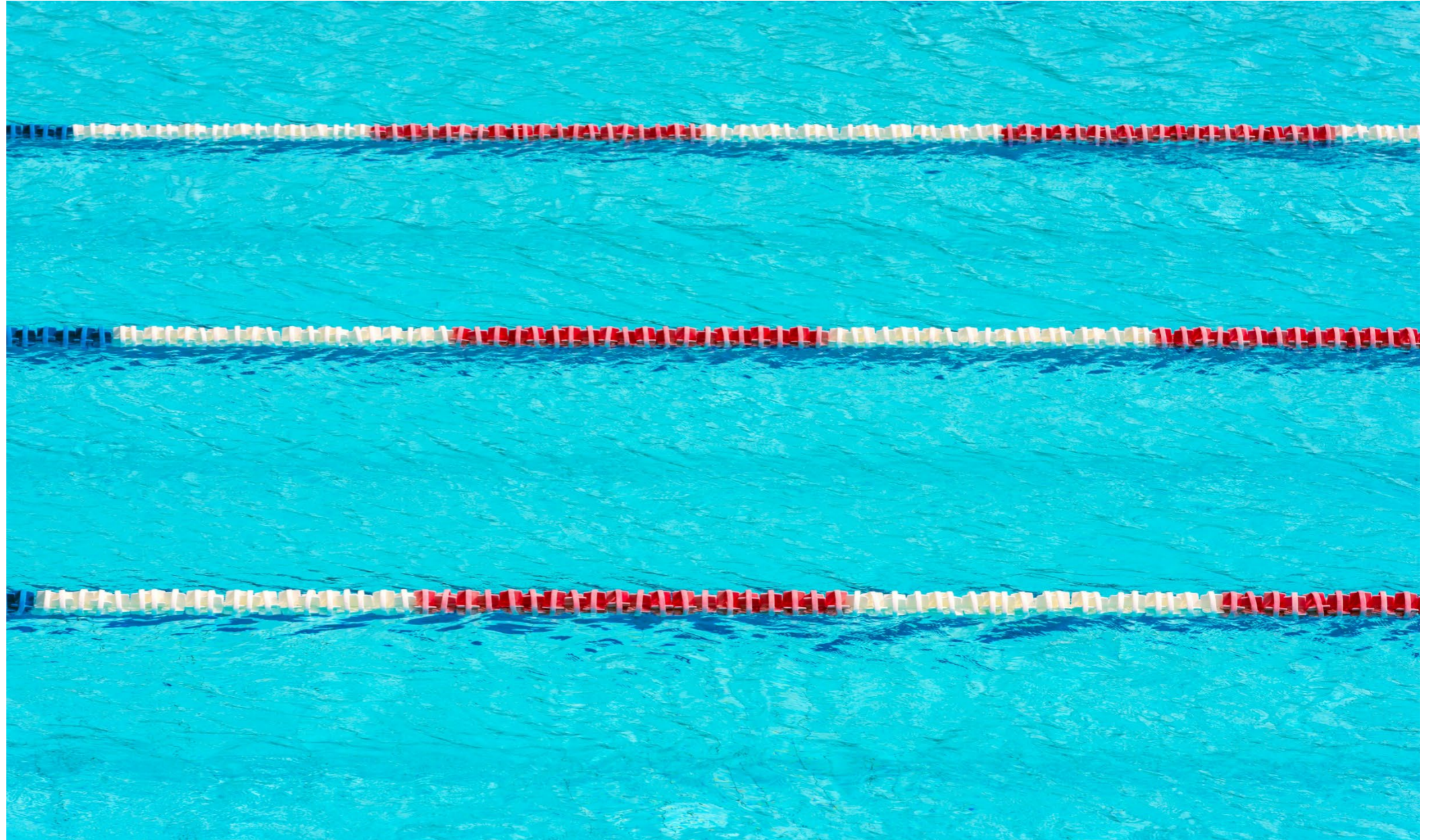
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Outline

- Building Permits 101
- Case Studies
- Lessons Learned
- Strategies & Recommendations
- Q&A



Acknowledgements



City of North Plains, Oregon

Andy Varner – City Manager

Blake Boyles – Public Works Director (Retired)



City of Portland, Oregon

Bureau of Environmental Services (BES)

Secondary Treatment & Expansion Program (STEP)

Muriel Gueissaz-Teufel, PE – Program Manager

julietta rad – Engineering Technician II

Good Morning Audience!

Who is familiar with permitting? Positive Experience?



Building Permits 101

- **What is Permitting?**
 - Review of a project or plan to confirm it meets all applicable codes in the interest of public health and safety
- **Key Players**
 - Project Owner
 - Design Professionals
 - Contractor
 - Agency Having Jurisdiction (AHJ)
- **Types of building permits**
 - Building/Structure/Foundation
 - Demolition
 - Excavation/Grading
 - Electrical, Mechanical & Plumbing



Building Permits 101



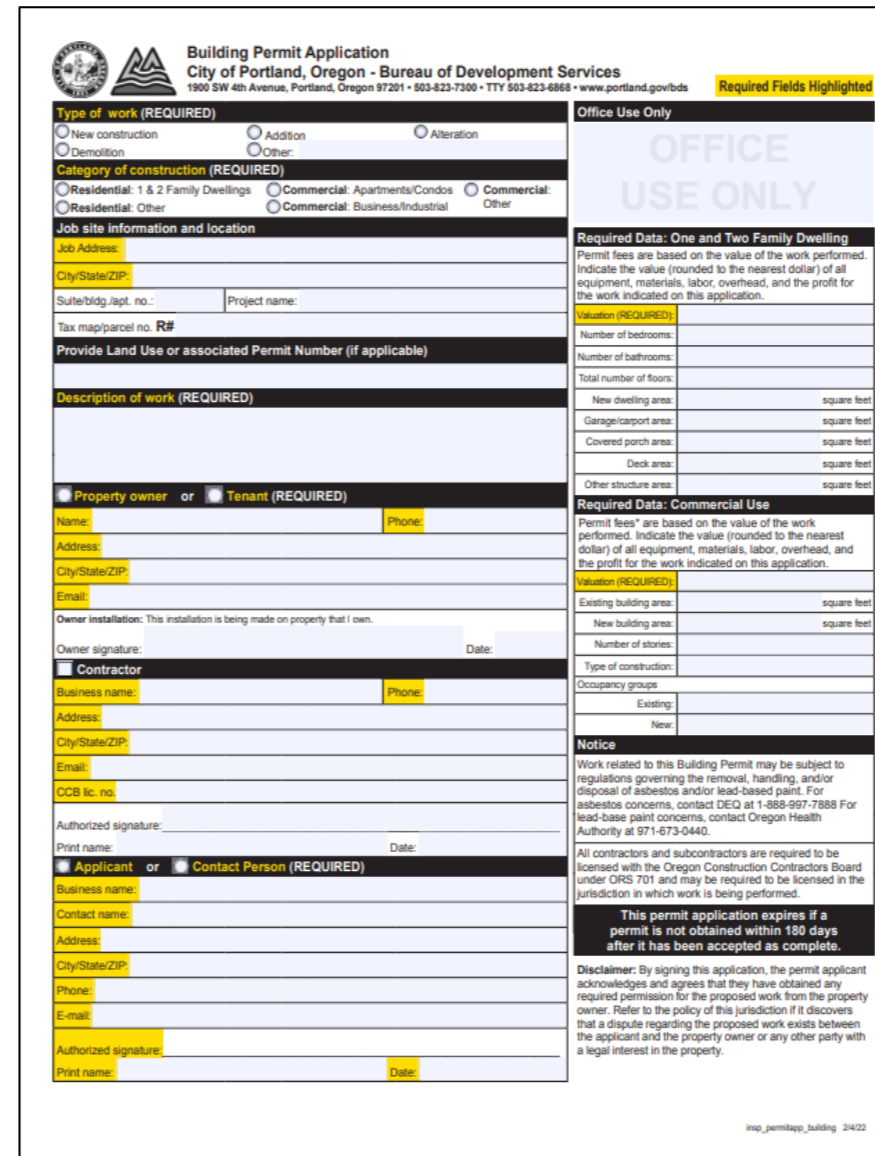
- **Meet with AHJ for pre-application meeting**
 - Review of draft drawings & documents
 - AHJ expectations and requirements
 - Discuss permit schedule and expected review durations
 - Estimate permitting fees
 - Allows AHJ to plan ahead and staff review of larger projects
- **Prepare Permit Documents**
 - Relevant Stamped Drawings
 - Stamped Calculations
 - Specifications
 - Reference & Other Documents



Building Permits 101



- **Submit Application for Plan Review**
 - Signed application form with project description, project value, size, construction type, etc.
 - Organize drawings as required by AHJ
 - Submit electronically or with printed sheets.
- **Pre-Screen Review**
 - AHJ checks submitted permit documents to make sure they can be reviewed
 - May require changes to drawings, additional forms, or other documents



Building Permit Application
 City of Portland, Oregon - Bureau of Development Services
 1900 SW 4th Avenue, Portland, Oregon 97201 • 503-823-7300 • TTY 503-823-6868 • www.portland.gov/bds

Type of work (REQUIRED)
 New construction Addition Alteration
 Demolition Other:

Category of construction (REQUIRED)
 Residential: 1 & 2 Family Dwellings Commercial: Apartments/Condos Commercial: Other
 Residential: Other Commercial: Business/Industrial

Job site information and location
 Job Address: _____
 City/State/ZIP: _____
 Suite/bldg./apt. no.: _____ Project name: _____
 Tax map/parcel no. **R#** _____
 Provide Land Use or associated Permit Number (if applicable) _____

Description of work (REQUIRED)

Property owner or Tenant (REQUIRED)
 Name: _____ Phone: _____
 Address: _____
 City/State/ZIP: _____
 Email: _____
 Owner installation: This installation is being made on property that I own. _____ Date: _____

Contractor
 Business name: _____ Phone: _____
 Address: _____
 City/State/ZIP: _____
 Email: _____
 CCB lic. no. _____
 Authorized signature: _____
 Print name: _____ Date: _____

Applicant or Contact Person (REQUIRED)
 Business name: _____
 Contact name: _____
 Address: _____
 City/State/ZIP: _____
 Phone: _____
 E-mail: _____
 Authorized signature: _____
 Print name: _____ Date: _____

Office Use Only

Required Data: One and Two Family Dwelling
 Permit fees are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.
 Valuation (REQUIRED): _____
 Number of bedrooms: _____
 Number of bathrooms: _____
 Total number of floors: _____
 New dwelling area: _____ square feet
 Garage/carport area: _____ square feet
 Covered porch area: _____ square feet
 Deck area: _____ square feet
 Other structure area: _____ square feet

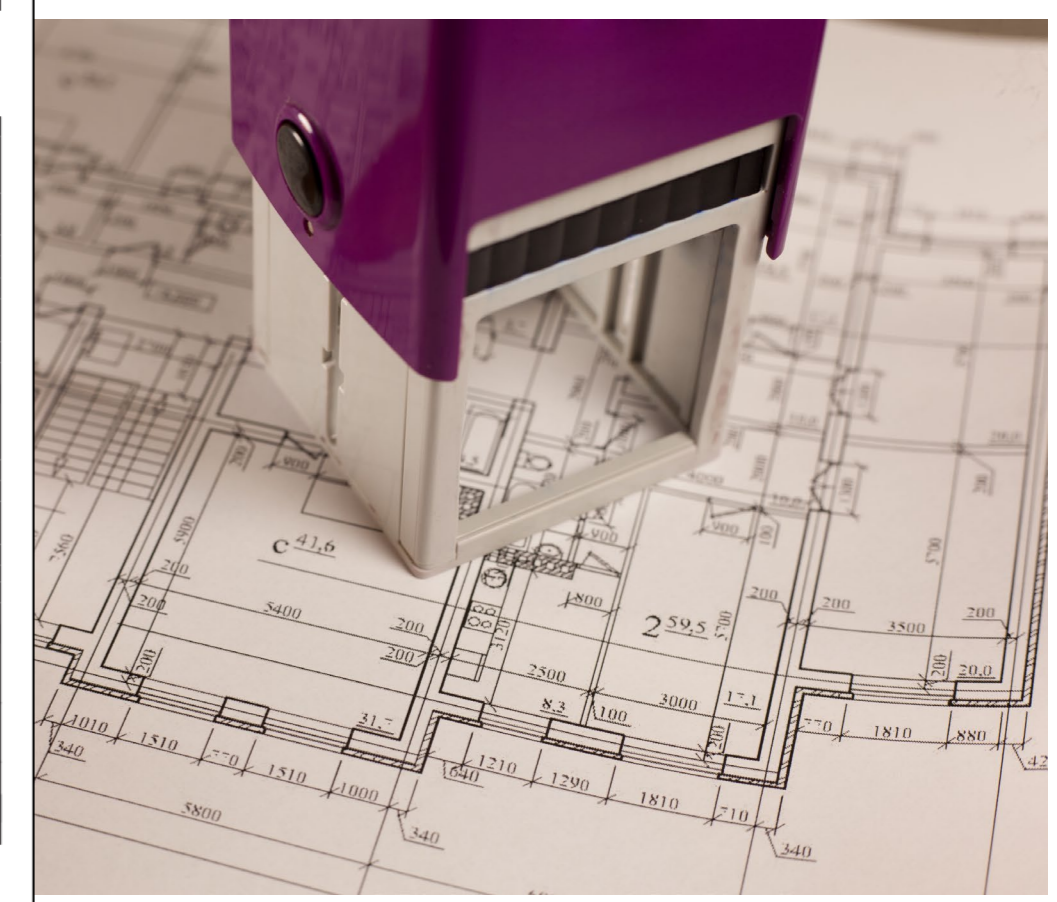
Required Data: Commercial Use
 Permit fees are based on the value of the work performed. Indicate the value (rounded to the nearest dollar) of all equipment, materials, labor, overhead, and the profit for the work indicated on this application.
 Valuation (REQUIRED): _____
 Existing building area: _____ square feet
 New building area: _____ square feet
 Number of stories: _____
 Type of construction: _____
 Occupancy groups: _____
 Existing: _____
 New: _____

Notice
 Work related to this Building Permit may be subject to regulations governing the removal, handling, and/or disposal of asbestos and/or lead-based paint. For asbestos concerns, contact DEQ at 1-888-997-7888. For lead-based paint concerns, contact Oregon Health Authority at 971-673-0440.

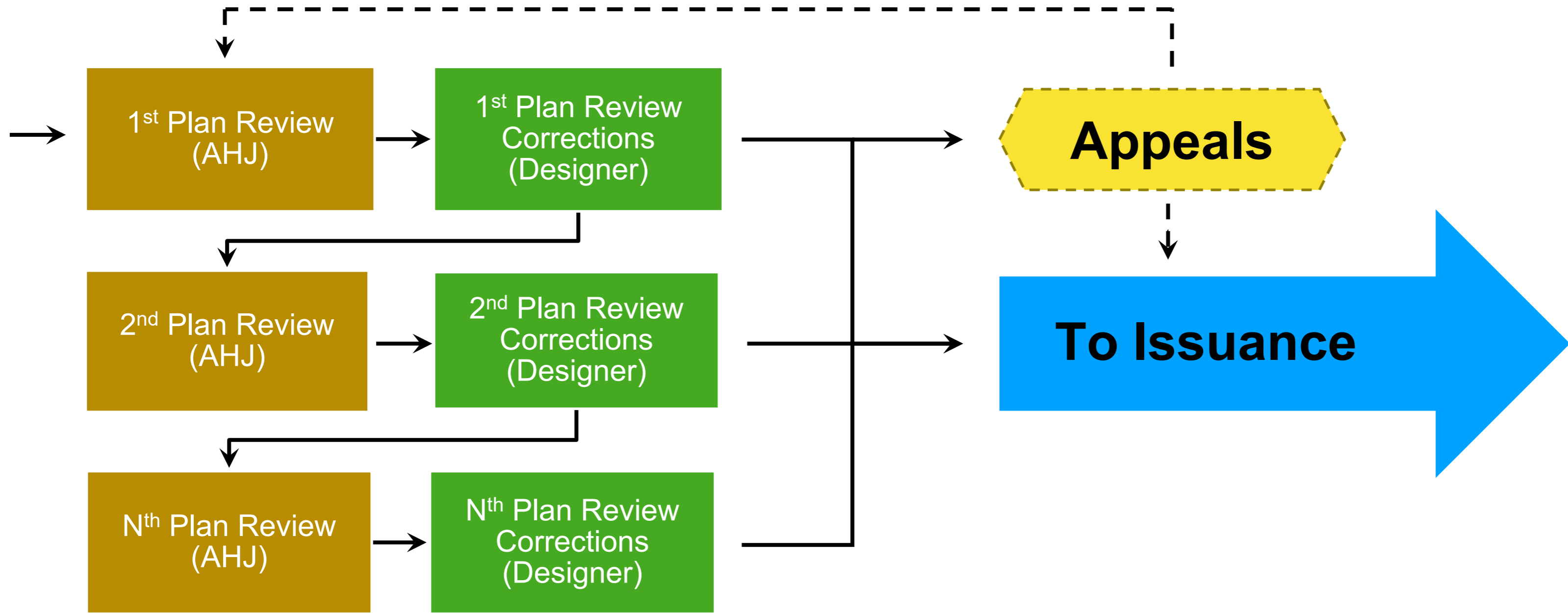
This permit application expires if a permit is not obtained within 180 days after it has been accepted as complete.

Disclaimer: By signing this application, the permit applicant acknowledges and agrees that they have obtained any required permission for the proposed work from the property owner. Refer to the policy of this jurisdiction if it discovers that a dispute regarding the proposed work exists between the applicant and the property owner or any other party with a legal interest in the property.

req_permitapp_building 2/4/22



Building Permits 101



Building Permits 101




Building Permit Issuance

- Drawings & documents stamped with agency approval
- Electrical Plan Review can start (City of Portland)
- Payment


Post Review

- Construction may proceed
- Inspections
- Deferred submittals
- Trade permit applications may proceed

Permit Revisions



CITY OF
PORTLAND, OREGON
BUREAU OF DEVELOPMENT SERVICES
1900 SW 4th Ave, Suite 5000
Portland, OR 97201



COMMERCIAL BUILDING PERMIT _____-CO

Site Address: 5001 N COLUMBIA BLVD
BES STEP Project - Clarif

Issued: 8/5/22

PROJECT INFORMATION	
Institutional	Const. Type II-B
Project Description: _____ (L 9) at the Columbia Blvd. NOTE: New Construction, Not	

APPLICANT	
PROPERTY OWNER	PC
CONTRACTOR	

Project De	
Code Edition (Year)	
DS-Attachment of Equipment	
DS-Other-3	
DS-Steel Stairs/Handrails	
Final Permit Valuation	
GIS Update Flag 2	
Ground Disturbance?	
Number of parking spaces added	13
SI-Anchors - Adhesive	Yes
SI-Anchors - Expansion	Yes
SI-Steel Construction	Yes
Sprinkler System Required?	No
Water District	City of Po

ELECTRICAL INPLANT SITE

This permit expires if, at any time, 180 days pass without an approved inspection. If you are not able to obtain an inspection approval within 180 days, you may request a one-time only extension of 180 days by calling 503-823-7303.

BEFORE YOU DIG	ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the center. (Note: the telephone number for the Oregon Utility Notification Center is 1-800-332-2344).
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CITY CONTACT _____	Phone: _____
E-Mail: _____	Fax: _____

City of Portland
REVIEWED FOR
CODE COMPLIANCE

Date: 08/04/22
Project#: 20-147119-000-00-CO

Case Study 1 – City of North Plains, OR – Water Station No. 2



Project Overview

- 2 MG Bolted Steel Water Reservoir
- Pre-Engineered Pump Station Building
- 4 Vertical Turbine Pumps, 2 MGD cap.
- Telemetry and control improvements

AHJ:

- Washington County, Oregon

Permits:

- Grading, Foundation & Utilities
- Reservoir Structure
- Pump Station Building
- Facility (Right of Way)

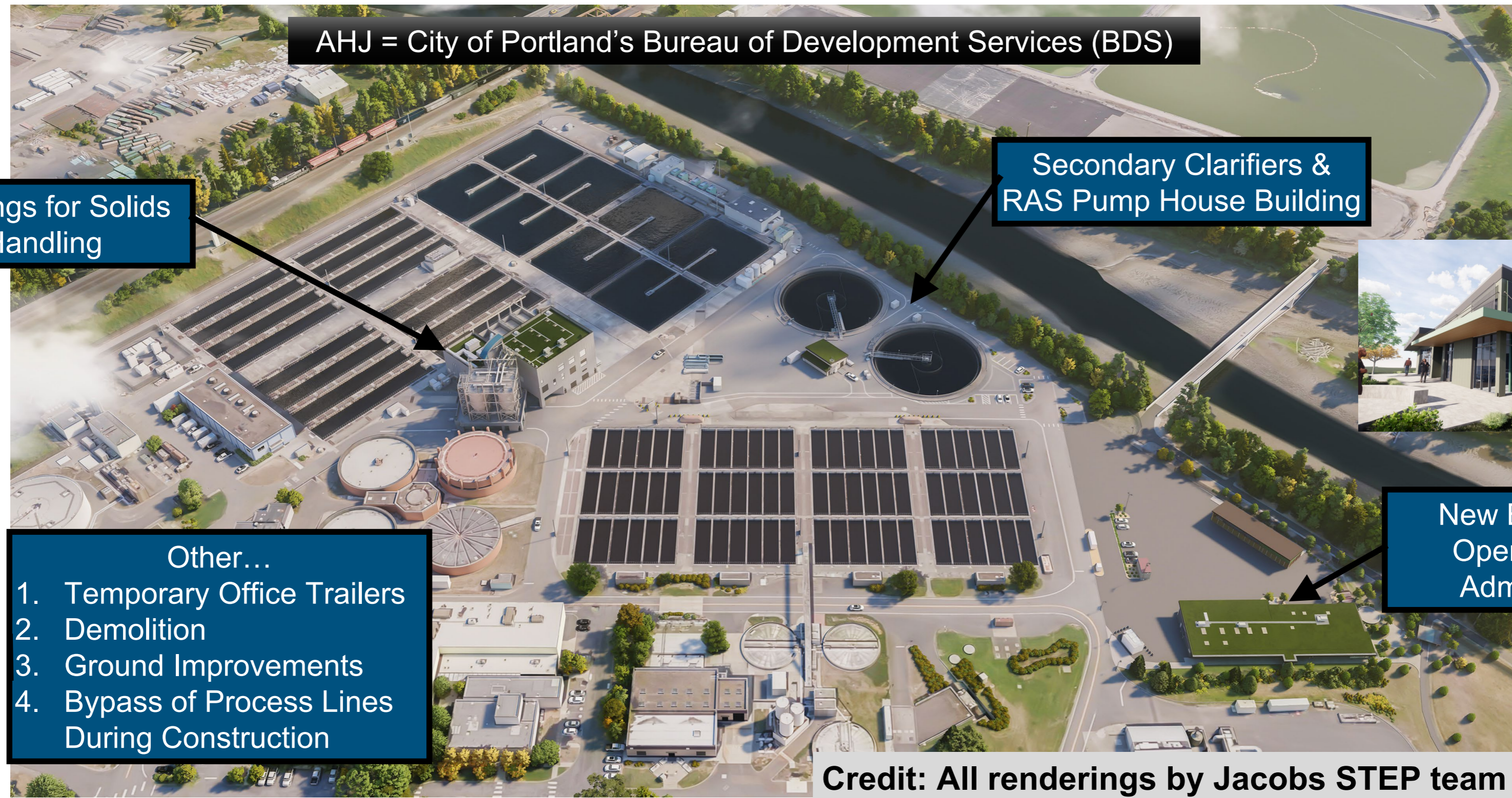
Case Study 1 – City of North Plains, OR – Water Station No. 2

Permitting Lessons Learned

- No pre-application meeting with AHJ
- The AHJ required additional documents and forms not listed on their website
- Pre-engineered structures cannot be deferred until stamped shop drawings are ready.
- Passing permit responsibility to contractor mid-review can be challenging
- Permitting takes a lot of time – budget accordingly



Case Study 2 - Secondary Treatment Expansion Program (STEP) @ Columbia Boulevard Wastewater Treatment Plant



AHJ = City of Portland's Bureau of Development Services (BDS)

Buildings for Solids Handling

Secondary Clarifiers & RAS Pump House Building



New Buildings for Operations and Administration

- Other...
- 1. Temporary Office Trailers
 - 2. Demolition
 - 3. Ground Improvements
 - 4. Bypass of Process Lines During Construction

Credit: All renderings by Jacobs STEP team

Pre-
application

Application

Plan Review

Issuance &
Post Review

General Permitting Lessons

- Waiting to contact your AHJ = more stress
- Permitting cycle as a wave
 - going in less than organized = a tsunami
 - going in organized, after working through things that aren't clear = a sweet ride
 - expect to closely attend to communication 1-3 days after submitting permits = catching the wave



- Too much or not enough information can cause confusion
- Good working team with members working independently and coming together

Strategies



- Expect to converse with AHJ
- website alone is never enough
- projects may require additional documents provide outside the website

- Include team members some experience with role reviewing responses to AHJ comments that is hands on can help designers with responses
- Isolating drawings for permit set
- Reviewing package before application, feedback to designers
- Coordinating meetings with AHJ and designers
- Maintaining meeting notes team-wide

- Converse w designers & reviewers to address comments
- Expect multiple review cycles no matter the perceived complexity or size



Recommendations

- Respect AHJ as a resource – seek feedback early
- Schedule shared with team, but most important for coordinators
- Consider review disciplines' needs when organizing drawings



Major Projects Group

City of Portland – Bureau of Development Services (BDS)

<https://www.portland.gov/bds/commercial-permitting/process-management>

- One permit coordinator throughout the life of the project
- Direct communication with the permit agency and reviewers
- Professional and friendly staff – a pleasure to work with!
- Extra cost – but well worth it for large & complex projects

Q&A



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